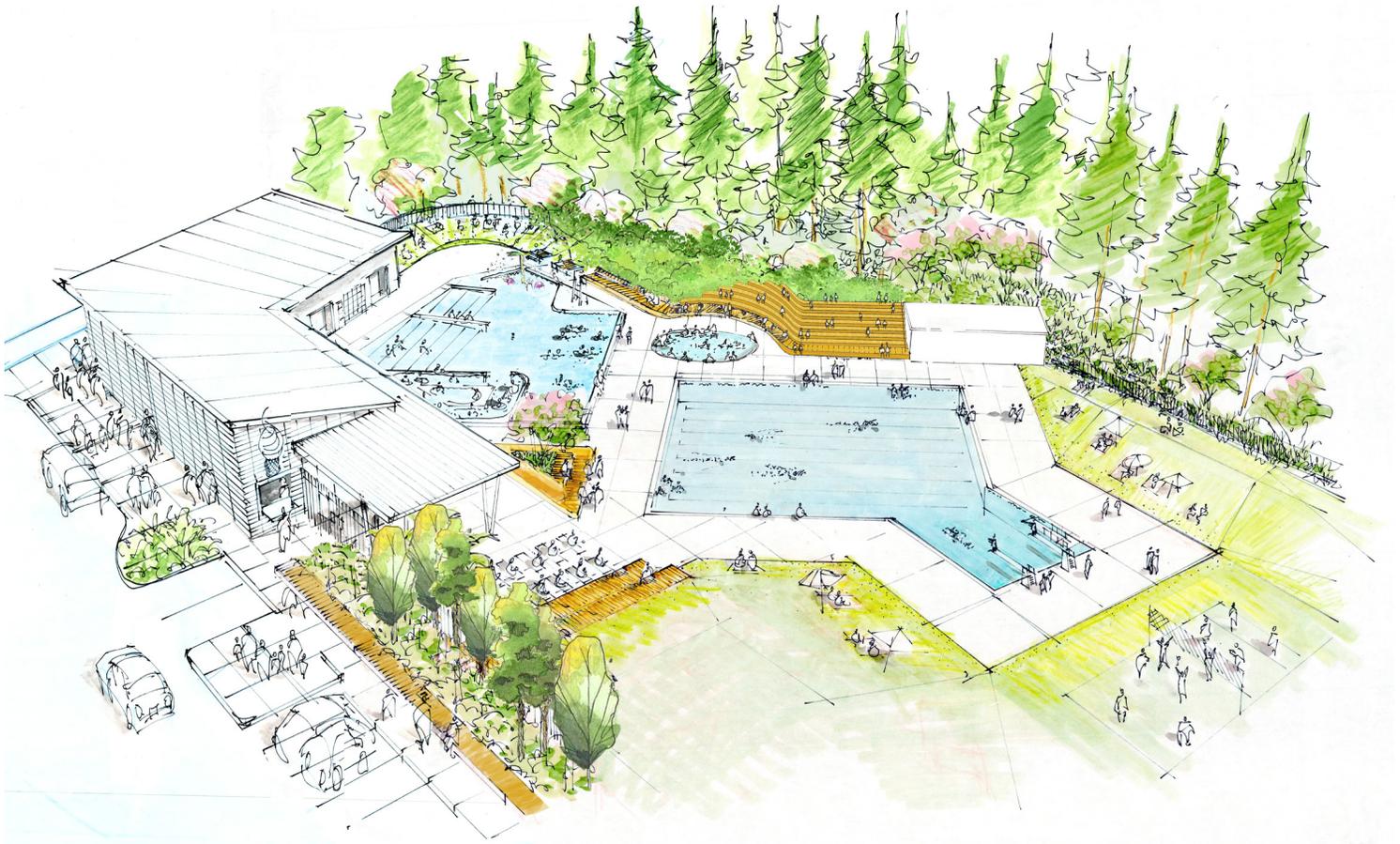


# Spani Outdoor Pool Renewal Study

City of Coquitlam

Issued: May 26, 2021



Coquitlam



# Table of Contents

<b>1.0</b>	<b>Executive Summary</b>	<b>5</b>
<b>2.0</b>	<b>Project Background</b>	<b>7</b>
2.1	Existing Facility	8
2.2	Policy	9
2.3	Site Analysis	10
<b>3.0</b>	<b>Planning</b>	<b>13</b>
3.1	Process	14
3.2	Public Survey	15
3.3	Stakeholders	16
3.4	Access & Inclusion	17
3.5	Committees	18
<b>4.0</b>	<b>Program</b>	<b>19</b>
4.1	Decision Making Process	20
4.2	Proposed Program	28
4.3	Precedent Images	30
<b>5.0</b>	<b>Design</b>	<b>35</b>
5.1	Existing Plan	36
5.2	Preliminary Concepts	38
5.3	Refined Concepts	40
5.4	Preferred Concept	42
<b>6.0</b>	<b>Financial</b>	<b>45</b>
6.1	Capital Costs	46
6.2	Operating Costs	47
<b>7.0</b>	<b>Next Steps</b>	<b>48</b>

## PROJECT CONSULTANTS

Architectural Design:



Landscape Consultant:

HAPA  
COLLABORATIVE

Mechanical Engineering:



Civil & Transportation Consultant:

**BINNIE**

Quantity Surveyor:

RTA QS

Environmental Consultant:



# 1.0 Executive Summary

# 1.0 Executive Summary

The renewal of Spani Outdoor Pool was identified by City of Coquitlam as a strategic priority through the **Parks, Recreation and Culture Master Plan** and **Aquatic Services and Infrastructure Strategy**. Spani Pool has been in operation for over 50 years and based on asset inventory work, the existing facility is in need of significant investment for it to operate in the long term. The facility also offers a limited program due to its lack of accessible features and wider range of aquatic facilities typically found at outdoor swimming pools. The **Spani Outdoor Pool Renewal Study** is intended to map out the requirements for upgrades to the existing facility and identify additional amenities to enhance it as a destination for Coquitlam residents.

The Renewal Study began with a community and stakeholder engagement process that included a "Let's Talk Coquitlam" public survey focused on identifying barriers to accessing the current facility and also identifying the desired amenity upgrades at the pool. Meetings with organized sports groups and Committees of Council provided more detailed input on the community's vision for a renewed facility.

The project team also investigated best practices for accessibility, inclusivity and sustainability for outdoor aquatic facilities. The Renewal Study has identified specific initiatives to develop a modern facility that offers a wide range of amenities for all ages and abilities. Specific upgrades to address the energy efficiency of the facility are also identified.

Utilizing the results of public engagement along with the research on best practices, the Renewal study has provided an indoor and outdoor program along with concept plans to advance the project towards detailed design and construction. Capital and Operating cost implications are also provided to ensure the project is feasible and adequate funding is provided through appropriate City budgets. The community's long term vision for Spani Outdoor Pool is expressed through the Renewal Study and the study sets the stage for the project to become a reality.



▲ Concept Sketch - Bird's eye view looking north east

# 2.0 Project Background

- 2.1 Existing Facility
- 2.2 Policy
- 2.3 Site Analysis

## 2.1 Existing Facility



### SITE CONTEXT

#### LEGEND

- |   |                            |
|---|----------------------------|
| 1 Existing Pool                           | 7 Mundy Field #4           |
| 2 Changerooms, Concession, and Staff Area | 8 Events Parking           |
| 3 "Shark Shack" with storage              | 9 Wetland                  |
| 4 Showers                                 | 10 Disc Golf Course        |
| 5 Bleachers                               | 11 Mundy Park Urban Forest |
| 6 Main Parking                            | 12 Residential Housing     |

## 2.2 Policy

In 2012, the City of Coquitlam Council endorsed an Aquatics Services and Infrastructure Strategy produced by Professional Environmental Environmental Recreation Consultants Ltd. (PERC) which established city aquatic service levels and a set of recommendations for aquatic service provisions over the short, medium and long-term future. This strategy was updated by PERC in 2015 and shows City-wide and Community oriented outdoor pools as a key assets offering recreational swimming, skill development, fitness, training, special events, water orientation, leadership training, water orientation play for toddlers and respite from summer heat to the community.

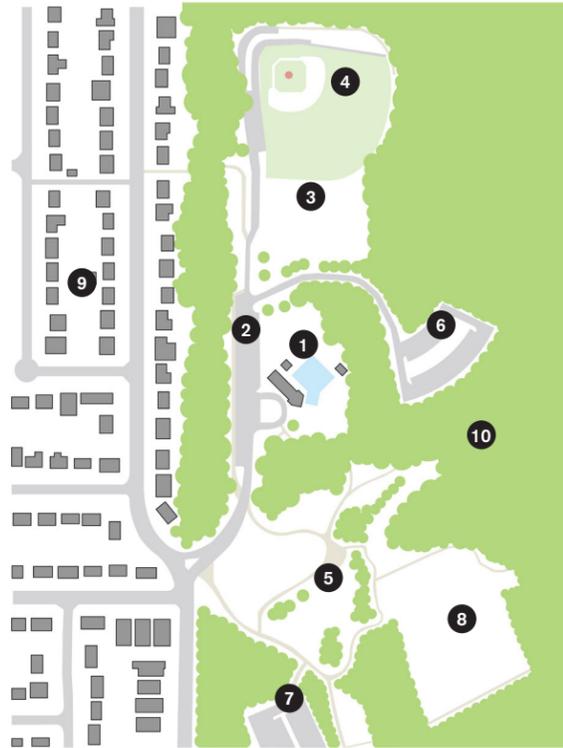
The ASIS identifies the renewal of Spani Outdoor Pool as a priority project in the 2021-2025 time frame. The renewal would not only upgrade the existing pool tank but also enhance the range of amenities available with a leisure pool and enhanced spray deck. The 2015 ASIS included a preliminary budget of \$15M for the renewal project. An enhanced spray deck is characterized as a water feature with moving, temporary water and zero entry. For the purposes of this renewal study, the enhanced spray deck has been considered to be included as a shallow zero entry zone of the leisure pool with spray toys of various shapes and sizes.

### Why the need for a renewal to Spani Outdoor Pool?

The renewal provides Coquitlam with the opportunity to improve this important community asset through:

- Improving universal accessibility to the pools and change room facilities.
- Broadening the range of programs and features at the facility to include leisure oriented offerings, making it more inclusive.
- Reinforce the importance of this site in Mundy Park along with the community's cultural identity as an active healthy city connected to nature.
- Provide essential services as an outdoor pool in the community as well as being an important Tri-Cities asset for fitness, length swimming and competitive training.
- Provide indoor & outdoor multipurpose spaces that can be programmed for a range of fitness, training, leisure, and rehabilitation uses in order to meet both current and future demands.
- Support excellence in competitive aquatics with an enhanced facility for aquatic event hosting.
- Improve the energy performance, carbon footprint and water quality of the existing facility.
- The increased change room capacity allows for a higher bather load/swimmer capacity which serves population growth for many years to come.

## 2.3 Site Analysis

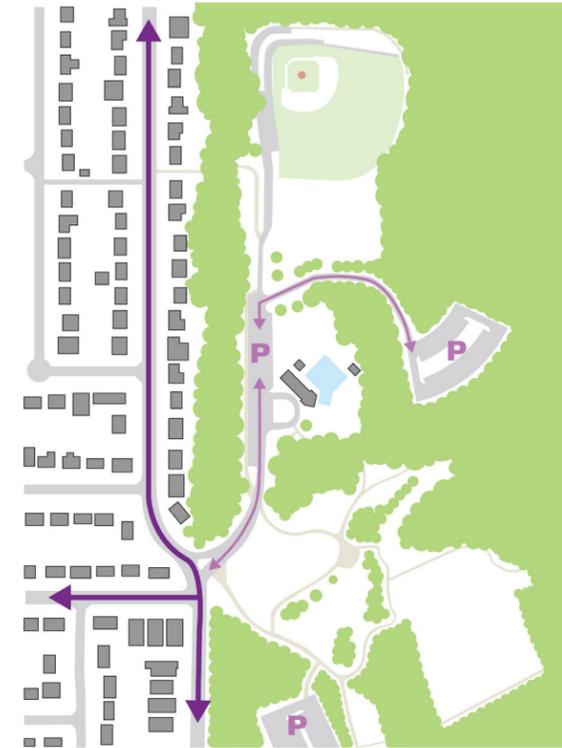


### EXISTING BUILDINGS AND SITE CONSTRAINTS

Spani Pool sits outside the Mundy Park Urban Forest boundary along with several other outdoor sport and recreation amenities. To the north is the Mundy Park Diamond and Mundy Field #4. To the south is a disc golf course and additional sports fields. To the west, single family residential housing backs right against the park boundary.

#### LEGEND

- |                      |                            |
|----------------------|----------------------------|
| 1 Existing Spani     | 6 Event Parking Lot        |
| 2 West Parking       | 7 Hillcrest Parking Lot    |
| 3 Mundy #4           | 8 Sports Field             |
| 4 Mundy Park Diamond | 9 Residential Housing      |
| 5 Disc Golf Course   | 10 Mundy Park Urban Forest |



### VEHICULAR ACCESS

Vehicular access to the site is off of Hillcrest Street. Spani pool and the west side of Mundy Park are served by three parking lots: the Hillcrest Parking Lot, the Spani Pool and Mundy Field Parking Lot, and the Events Parking Lot. Access to the Events Parking Lot is through the Spani Pool Lot and is currently only used as overflow parking for large events.

#### LEGEND

- |                               |                        |
|-------------------------------|------------------------|
| Roadway Vehicular Circulation | Bus Stop               |
| Parking Vehicular Circulation | Pedestrian Circulation |



### PEDESTRIAN AND CYCLIST ACCESS

Pedestrians can access the pool from two bus stops: Westbound Foster Ave. at Hillcrest St. and Southbound Hillcrest St. at Foster Ave. There is a crosswalk that brings pedestrians across Hillcrest St. into the park as well as a cut through path from the residential area to the west of Mundy field #4, and paths from inside Mundy Park.



**RIPARIAN AREAS PROTECTION REGULATION WETLAND SETBACK**

A preliminary environmental assessment was completed by Diamondhead Consulting in 2020. Watercourses on the east and west side of the parking areas feed downstream wetland areas. All of these areas have levels of protection through Federal and Provincial Legislation and detailed assessments will be required in later stages of the project.



**TREE PROTECTION AND REMOVALS**

With its setting in the forest, the site is surrounded by significant trees that are important to retain. Diamondhead Consulting completed a tree health and root protection assessment for the trees surrounding Spani Outdoor Pool. The dashed red line above illustrates the root protection zones of these trees. The light green trees were identified as either in poor health or of low value and their removal is necessary to expand the facility.

# 3.0 Planning

- 3.1 Process
- 3.2 Public Survey
- 3.3 Stakeholders
- 3.4 Access & Inclusion
- 3.5 Committees

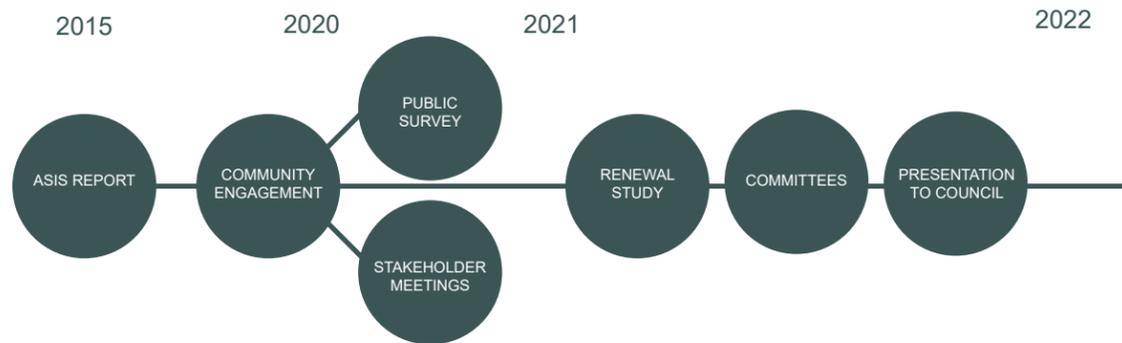
### 3.1 Process

The impetus to renew Spani Outdoor Pool comes from broader strategies aiming to continually improve aquatics facilities in Coquitlam along with tracking of asset replacement and upgrades.

The City's process of assessing the condition of its assets and their time frame for replacement indicated that Spani Pool required significant upgrades within the 2021-2025 time frame. Concurrently, the Parks Recreation and Culture Master Plan and Aquatic Services and Infrastructure Strategy identified trends in aquatic services and the need to provide new facilities for a growing community.

The Spani Outdoor Pool Renewal Study combines the previous asset and service planning to refine the scope, program, and cost to renew the facility. It also considers broader community interests including accessibility, inclusion and sustainability. Surveying residents and interviewing stakeholders is a key part of the renewal study process and will inform the next steps of the process.

Schematic and detailed design are the logical next steps following the Renewal Study. These steps will further refine the program and details leading to construction of the upgraded facility within the time frame identified through both asset replacement studies and the Aquatic Services and Infrastructure Strategy.



### 3.2 Public Survey

The Renewal Study has been informed by an online public survey utilizing the "Let's Talk Coquitlam" platform. The survey was available to residents through August and September 2020 and received over 600 responses. Despite COVID restrictions, the majority of respondents had visited the pool within the last year, primarily for lane swimming and swim lessons.

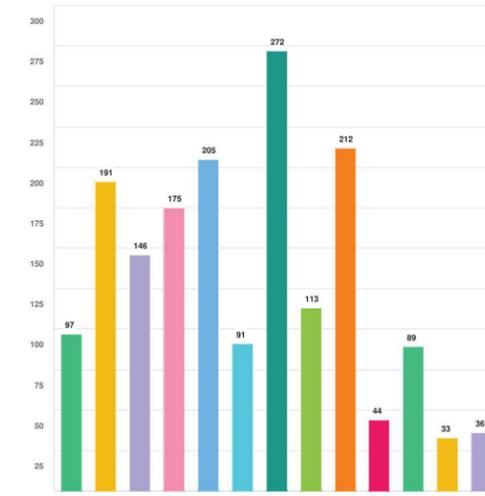
The survey helped identify further barriers to access. The most common responses included: inadequate change rooms and washrooms; insufficient number of "play" features; and, lack of seating. Access to parking was not frequently cited as a barrier to accessing the facility.

While the Aquatic Services and Infrastructure Strategy had identified the desire to include a leisure pool and splash area at the renewed facility, the survey was able to identify the most popular potential features. Based on the results of the survey, respondents would like to Spani to have: a covered/shaded area; improved change facilities; enhanced natural landscaping inspired by Mundy Park; and, a shallow beach entry.

The survey results have informed the development of the program for the Spani Outdoor Pool Renewal Study.

Spani Outdoor Pool Renewal - Survey Report for 22 August 2020 to 20 September 2020

Q9 Which of the following potential amenities would best serve the community in a renewal of Spani Outdoor Pool? (select your top 3)



Question options  
 Spray pad area, Shallow beach entry area, Play and spray features in the pool, River channel (i.e. lazy river), Enhanced natural landscaping inspired by Mundy Park, Area for tanning and lounging, Covered/shaded area, Enhanced picnic spaces, Improved change room facilities, Community space or party room/multi purpose room, Concession, Open space, Event hosting amenities

Mandatory Question (607 response(s))  
 Question type: Checklist Question

## 3.2 Stakeholders

As part of the renewal study the project team conducted group discussions with several of the key site and programming stakeholders in November 2020. Recommendations for further engagement are included in the Next Steps section of this report. Key feedback from stakeholders included the following items. More detailed meeting notes are available as part of the appendices.

### Sharks Swim Club

- Currently use Spani for training and event hosting
- Spectator seating is a significant consideration for them (fixed and temporary)
- Would like deck space and lawn area to be maintained to support event hosting/staging
- Would benefit from true 10-lanes
- Generally the existing facility is very good for their needs
- Built "Shark Tank" building at own cost and it is beneficial to event hosting

### Tri-City triathlon

- Currently hold aquatic portion of events at Spani Pool
- Needs are similar to swim clubs
- Would benefit from covered outdoor space for stationary bikes and dry land training

### Aquasonics synchronized swimming

- Currently use Spani for training
- Would benefit from additional deep water area
- Would benefit from covered area where teams can store belongings if it is raining.

### Storm Waterpolo

- Currently do not use Spani Pool
- Would require additional deep water for meaningful use

### Hyack Swim Club

- Currently do not use Spani Pool but do use Eagle Ridge
- Would benefit from true 10-lanes
- Defer to Sharks for event hosting logistics and needs for Spani Pool

### City of Coquitlam Staff

- Currently use Spani for public swim, club rentals, lessons, lifeguard training, camps, etc.
- Would benefit from improved accessibility features
- Would benefit from reconfiguration of lap tank to have full 10 lanes
- Would benefit from shade/rain cover structure that extends the season and range of programming at the facility.
- Improved security to avoid unauthorized swims would be beneficial
- Would benefit from year round accessible WC

## 3.4 Access & Inclusion

Access & inclusion considerations have been at the forefront of the Spani Outdoor Pool renewal study work. An early workshop with City staff and stakeholders kicked-off the study by focussing on topics including:

- the evolving social role of aquatic facilities
- an increased focus on wellness
- considerations for families
- transgender and non-binary people
- considerations for aging
- privacy & safety
- people with disabilities
- universal change room and washroom models
- pool depth considerations
- provisions for cultural diversity

The results of the workshop have informed the planning and design of the renewal of Spani Outdoor Pool. During detailed design of the project, further consideration of the following will be required:

- Railing locations
- Seating locations and details
- Tactile surfaces and wayfinding
- Shade opportunities and glare reduction



▲ Pool Ramp



▲ Transfer Edge



▲ Pool Lift



▲ Beach Entry

## 3.5 Committees

City Committees have served an important role in the development of the Renewal Study. In September of 2020, staff introduced the project to both the Sports and Recreation Advisory Committee and the Universal Access-Ability Committee. Committee members provided preliminary input to the project and were also requested to broadcast the survey to their respective groups to more broadly circulate the survey.

Staff revisited these Committees in March and April 2021 to share the results of the survey and also information from stakeholders consulted in late 2020. Staff were also able to provide the Universal Access-Ability Committee with the list of features that address accessibility and inclusion in a renewed facility. The Sports and Recreation Advisory Committee were able to review the program for the facility and provide input to refine the Renewal Study.

## 4.0 Program

- 4.1 Decision Making Process
  - Proposed Features
  - Leisure Considerations
  - Lap Pool Considerations
  - Operational Considerations
  - Sustainability Considerations
  - Water to Greenspace Considerations
  - Shadow Studies
- 4.2 Proposed Program
- 4.3 Precedent Images

# 4.1 Decision making process

The decision making process for the Spani Outdoor pool renewal was guided by criteria established through community and stakeholder engagement (program), operational discussions (operations) and cost estimation information (cost). Iterative concept options were developed to test various locations on the site, phasing considerations and operational efficiency. These options were evaluated based on program, operations and cost to arrive at a preferred concept that is described at the end of this report.

## Proposed Features



▲ Welcoming Entry Plaza



▲ Beach Entry



▲ Splash Zone



▲ Lazy River



▲ Hot Pool



▲ Social Lawn

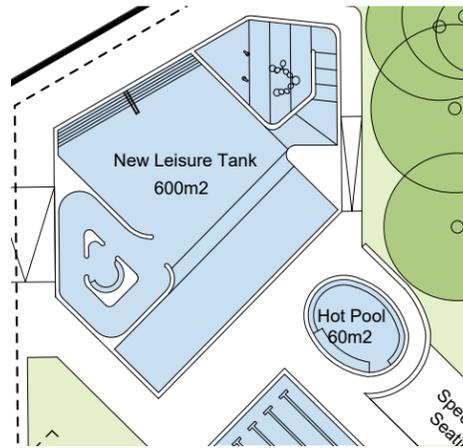


▲ Covered Area



▲ Spectator Bench

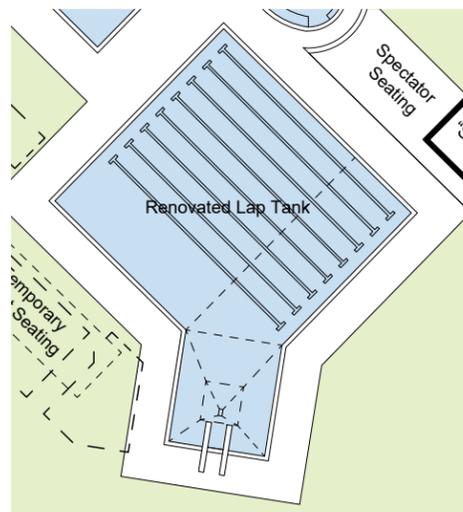
## Leisure Considerations



### LEISURE POOL (NEW)

- Water temperature
- Relationship to change rooms
- Accessibility features
- Beach/zero depth entry
- Splash/spray zone
- Lazy river
- Lessons area with 500-900mm depth
- Lap lane area for lessons, leisure and competition warm-up
- Lifeguarding lines of sight
- Proximity to care-giver viewing/seating

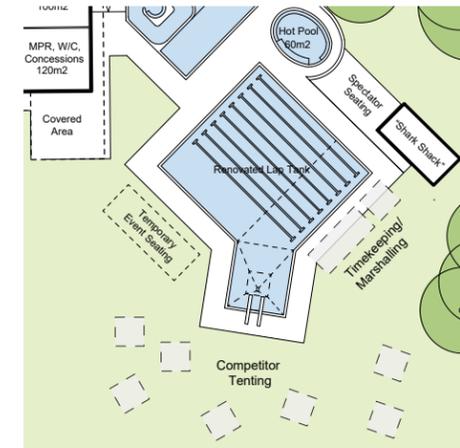
## Lap Pool Considerations



### LAP POOL (RENOVATION)

- Event hosting deck clearances surrounding the pool
- Water temperature
- Structural analysis of existing concrete tank
- Accessibility
- Existing skim gutter
- Eight 25m competition lanes
- Appropriate depth for various sports programs
- Proximity to spectator viewing & storage

## Operational Considerations



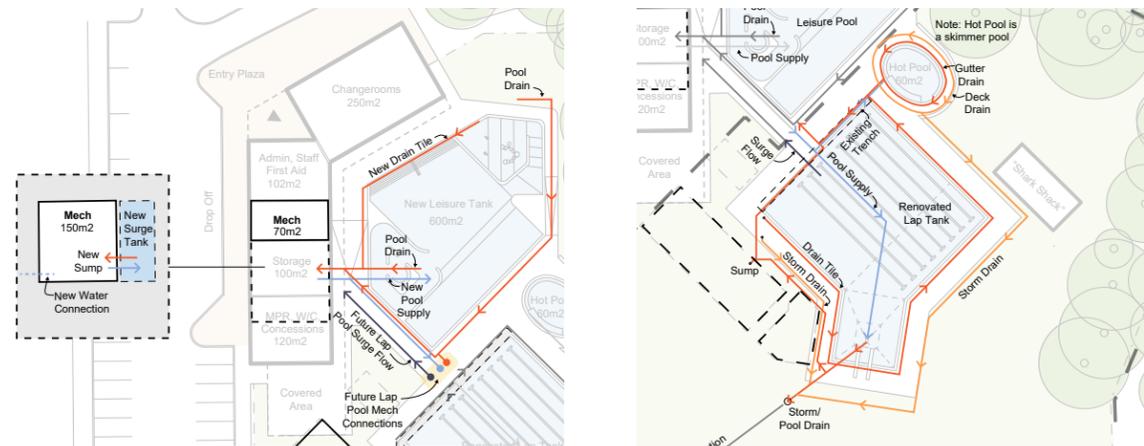
### EVENT HOSTING

Spani Outdoor pool is an important training and competition hosting venue for swim clubs. Event hosting and staging configurations have been considered in this renewal plan to ensure this tradition can continue into the future.

- Team and Family Tent Area
- Open space for event marshalling
- Permanent and temporary spectator seating including some covered area
- Finish line judging area
- Event coordination space
- Event material storage
- Concession

**MECHANICAL OVERVIEW**

The mechanical engineer (AME Group) have completed a feasibility study of the proposed concept layouts. The report provides an overview of the design approach which considers water safety requirements and the long lifespan of aquatic buildings that results in the need for robust, flexible, easily maintainable, and cost efficient systems. Further detail is provided for the plumbing, fire suppression and high efficiency HVAC systems, including the need for different zones (based on operating temperature and humidity, hours of operation and serviceability of the systems), as well as an overview of heat recovery options as part of the wider sustainability objectives.



▲ Leisure pool mechanical diagram

▲ Lap pool new mechanical tie-in diagram

**BATHER LOAD**

Changeroom requirements:	.32m2/bather	Washroom requirements	
Capacity:	625 bathers	W/C:	17 fixtures
Showers required:	10 fixtures	Lavatories:	9 fixtures
<b>Changeroom Area:</b>	<b>250m2</b>	<b>Washroom Area:</b>	<b>50m2</b>

**NOTE:**

Existing Spani change rooms are 95m2 including shower areas which accommodates a max bather load of 297 persons (according to current health act req.)

**Sustainability Considerations**

A priority for the Renewal Study has been to investigate sustainability measures that can ensure Spani Pool operates as efficiently as possible. The following measures are proposed to be utilized at Spani:

- Solar thermal preheat for hot water in showers and sinks in the washrooms, change rooms, multi-purpose room, first aid room and concession.
- Sanitary heat recovery from waste water leaving the facility that will feed back into the preheat system.
- Air source heat pump for heating/cooling of conditioned air in the multi-purpose room, washroom, office space and first aid room.
- Pool cover on the hot pool during non-operating hours.

While alternate heating methods were investigated, the pool water will need to be heated using natural gas due to the volume of water and heat requirements. In the next phase of the project, staff will work with Fortis Gas on opportunities to ensure pool water heating systems are as efficient as possible and potentially benefit from grant programs available from Fortis and others. It's important to note that Spani Outdoor Pool operates through April – September with the majority of heating required at the beginning and end of the season. Extending the season of operation will have a dramatic impact on heating requirements and resultant energy use and greenhouse gas emissions. While a suitable pool cover system for the larger pool areas has not been identified during the Renewal Study, this will continue to be investigated through the detailed design phase of the project.

Natural water filtration systems were also investigated but require more space than traditional water treatment systems. Due to the proximity of the existing mature tree stand, space is unavailable at Spani Pool to implement a natural water filtration system.

An Electric Vehicle Charging Station will be installed in the parking lot during the renewal project in keeping with the City's commitment to implement these stations.

## Water to Greenspace Considerations

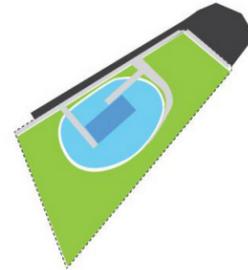
Greenspace and hardscape deck area surrounding outdoor pools plays an important role in active and passive programming. This open space provides flexibility for informal activities like playing, socializing, and sunbathing, but also for more organized events like competition hosting. During swim meets this greenspace provides a place for competitor's tents, temporary bleachers, and marshalling lanes.

Larger greenspace allows pool visitors to extend their stay as they are able to move with the sun to avoid the late afternoon shade. Many outdoor pool patrons are known to bring small tents or umbrellas and set-up for family fun or events for several hours at a time.

SPANI POOL, COQUITLAM, BC



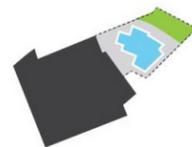
NATURBAD RIEHEN, RIEHEN CH



MAPLE GROVE, VANCOUVER BC



HILLCREST POOL, VANCOUVER BC



WEBBER POOL, MINNEAPOLIS MN



QUEEN ELIZABETH POOL, EDMONTON AB



▲ Hillcrest Outdoor Pool

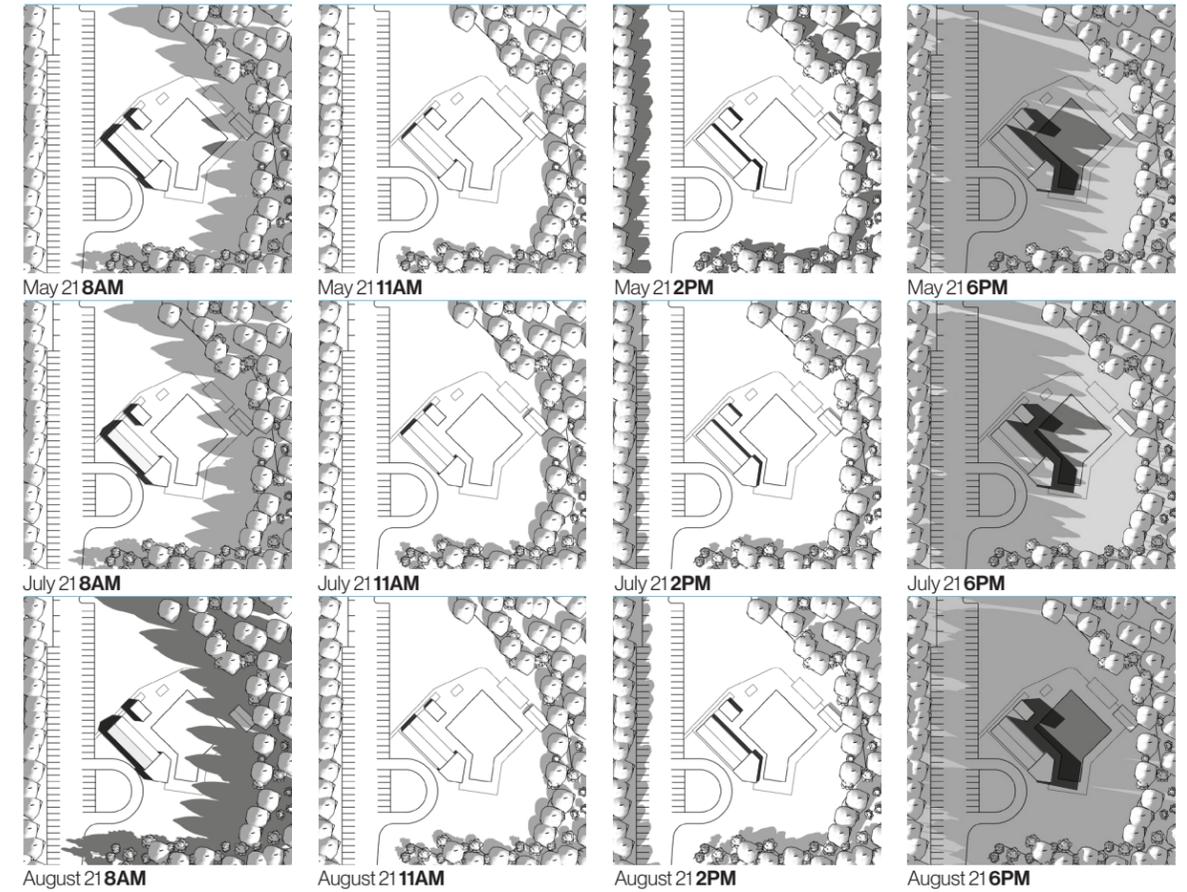


▲ Webber Pool



▲ Queen Elizabeth Pool

## Shading Studies



### SHADING ANALYSIS

For most of the swim season the Spani Pool site remains in the sun, with trees on the east side of the site casting slight shadows over the lawn in the morning. By the early evening the trees to the west of the parking lot shade most of the pool area in May, and all of the pool area by August. These studies also demonstrate that the existing building does not cast a shadow onto the pool until the early evening.

A balance of available sun and shade is desirable in outdoor pool facilities to provide options for patrons.

#### LEGEND

- Building Shadows
- Tree Shadows

## 4.2 Proposed Program

### PROGRAM

The process of determining a proposed renewal program considered both the existing 25m tank programs and users, as well as anticipating future leisure oriented program and users. The proposed program is divided into 3 categories

- Indoor program - change rooms, lifeguard/administration & multipurpose
- Outdoor program - pool tanks, deck spaces and showers
- Ancillary program - spectator seating, lawn, and covered outdoor space

Community survey data, feedback from Stakeholder meetings, analysis of the available site area and cost estimation were used to develop the proposed program.

### CONCEPT LAYOUTS

Various concept options were developed for the renewal of the existing Spani Outdoor pool which include addition of a leisure pool component and upgrade or replacement of the existing lap pool component. The concept options consider the following factors:

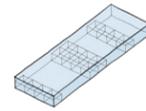
- Creating a functional layout that meets best design practice, user and operational needs
- The ability to phase construction in order to allow for continued user-service
- Environmental and Arborist report recommendations for tree and habitat retention
- Transportation report recommendations for parking
- Embodying within the design a project vision that aligns with the community and stakeholder engagement process

The primary strategy for the site was to introduce a series of landscaped pathways connecting the parking and surrounding recreational amenities in Mundy Park to the pool area while minimizing impact on the urban forest and old growth trees surrounding the site. Maintaining the forested setting was identified as the highest priority by survey respondents

The proposed approach for site parking is to optimize the existing surface parking area to the west of the site as well as utilize the existing "event overflow" surface parking area to the west to accommodate the increased demand that is anticipated from increased facility size and program offerings.

### INDOOR

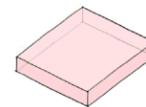
#### Change Rooms & Support Spaces



#### MPR

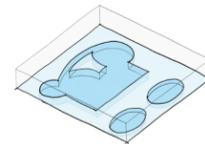


#### Admin

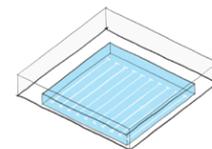


### OUTDOOR

#### Leisure Pool



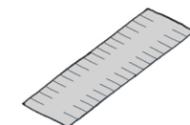
#### 25m Pool



#### Hot pool



#### Parking



### DETAILED PROGRAM SUMMARY

1.00	Indoor program	Existing m2	Proposed m2	Proposed sf
1.01	Admission Counter	10	12	129
1.02	Staff area	14	80	861
1.03	Lockers	3	8	86
1.04	Change rooms (incl. WC & showers)	126	250	2691
1.05	Public WC	4	10	108
1.06	First aid space	5	10	108
1.07	Multipurpose room	0	40	430
1.08	Concession	29	70	753
1.09	Pool Mech	54	220	2368
1.10	Storage	77	100	1076
<b>Subtotal</b>		<b>322</b>	<b>800</b>	<b>8610</b>

2.00	Outdoor program	Existing m2	Proposed m2	Proposed sf
<b>Pools</b>				
2.01	Lap tank	653	653	7029
2.02	Leisure tank (beach entry, lazy river, splash area)	0	600	6458
2.03	Hot pool	0	60	646
<b>Subtotal</b>		<b>653</b>	<b>1313</b>	<b>14133</b>

<b>Pool deck</b>				
2.04	Hardscape deck area	636	1514	16297
2.05	Deck showers	29	30	323
<b>Subtotal</b>		<b>665</b>	<b>1544</b>	<b>16620</b>

<b>TOTAL</b>		<b>1640</b>	<b>3657</b>	<b>39363</b>
--------------	--	-------------	-------------	--------------

3.00	Ancillary	Existing m2	Proposed m2	Proposed sf
3.01	Wooden perimeter bench (length)		16m	52ft
3.02	Social lawn	1147	4028	43357
3.03	Shade/rain cover		114	1227
3.04	Entry Plaza/Drop off	50	447	4811
<b>Subtotal</b>		<b>1197</b>	<b>4589</b>	<b>49395</b>

### 4.3 Precedent Images



▲ Spectator Seating



▲ Lazy River



▲ Forest Boardwalk



▲ Leisure Pool



▲ Wooden Perimeter Bench



▲ Infinity Edge Pool



▲ Forest Hot Pool



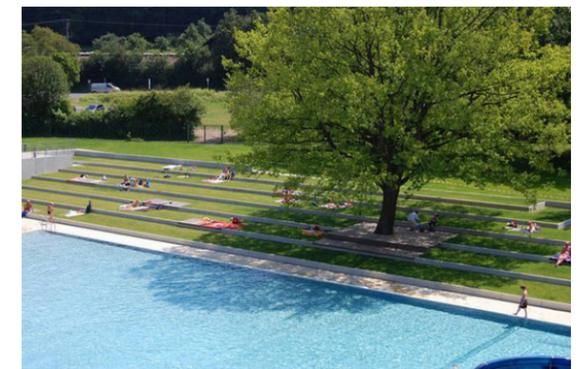
▲ Beach Entry



▲ Forest Edge Condition



▲ Transfer Edge



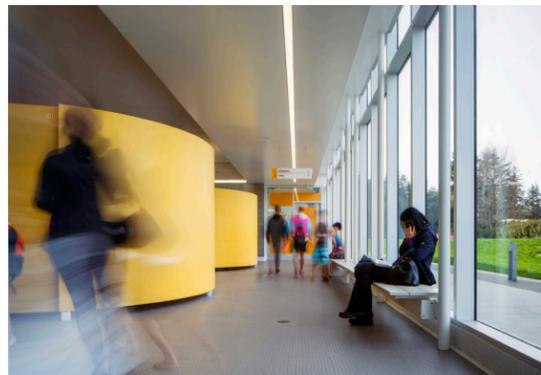
▲ Transfer Edge Pool



▲ Social Lawn and Awning



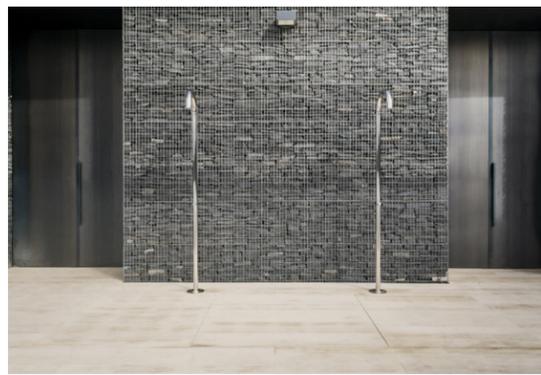
▲ Water to Lawn Ratio



▲ Universal Changeroom



▲ Universal Washroom



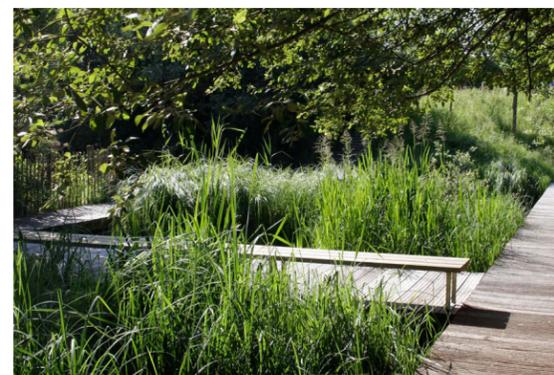
▲ Deck Showers



▲ Universal Changeroom



▲ Forest Boardwalk



▲ Enclosure Fence



▲ Park Setting

This page left intentionally blank.

## 5.0 Design

- 5.1 Existing Plan
- 5.2 Preliminary Concepts
- 5.3 Refined Concepts
- 5.4 Preferred Concept

# 5.1 Existing Plan



## EXISTING SPANI POOL

The existing Spani Outdoor pool is beloved for its proximity to nature located in Mundy Park. The facility is also considered to function well for competition event hosting as an important venue for the swim community however the lack of accessibility features at the facility are a deterrent to some members of the community. Below is a list of pros and cons:

### Pros

- Beautiful location in Mundy Park
- Competition event hosting
- Proximity to other municipal amenities
- Large flexible lawn

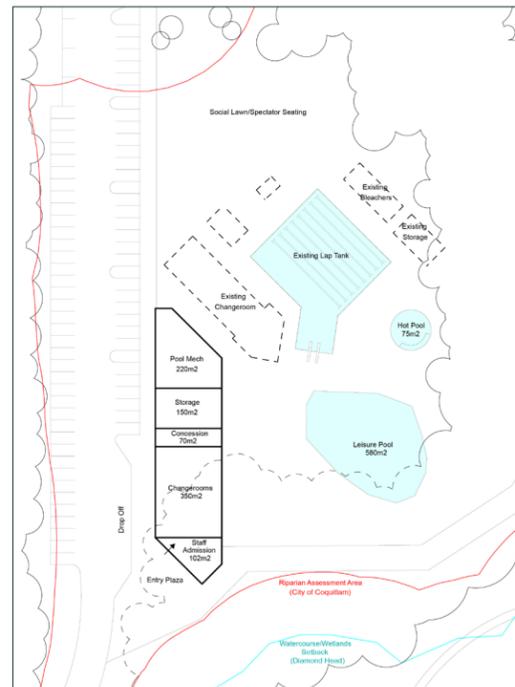
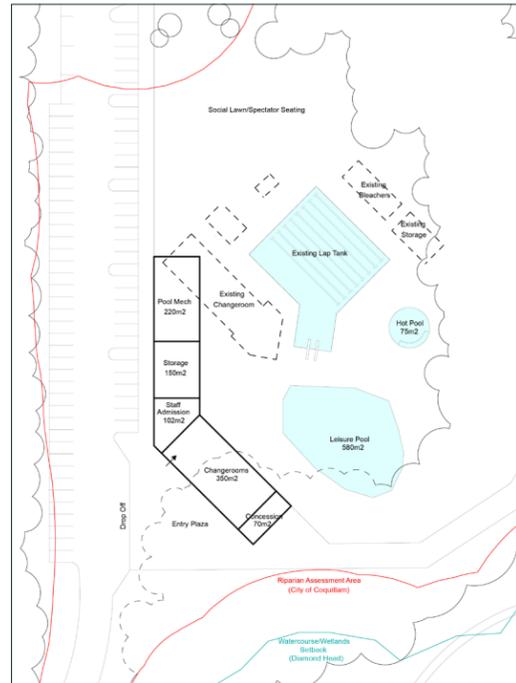
### Cons

- Location creates surveillance issues and after-hours swims
- Change room facilities are outdated and inaccessible
- Pool access is a barrier
- Lack of play features and shallower depths for family leisure swim
- Dive well conflict with south-west lap lanes

### LEGEND

- Pools
- Plaza & Boardwalk
- Greenscaping & Lawn
- ▲ Entry
- Enclosure Fence
- Existing Buildings

## 5.2 Preliminary Concepts



### TESTING A SOUTH LEISURE & BUILDING LOCATION

Preliminary concept options tested the addition of a leisure pool on the south side of the existing lap tank which placed the main entry to the facility in a position of higher visibility, allowed a more direct connection between the two parking areas and preserved the large north lawn area. These options required the removal of a significant number of trees and had potential wetland impact. A list of pros and cons of these options is listed below:

#### Pros

- Facility entry is visible from Hillcrest St.
- Maintains a generous sunny lawn area on north side of the site
- Convenient drop-off location
- Pedestrian connection between two parking areas

#### Cons

- Significant tree removal required
- Intervention in close proximity to the existing wetland
- Potential grading issues
- South oriented building blocks views into the pool area from Hillcrest St and meadow area

## 5.3 Refined Concepts



### PHASED OPTIONS

Further refined concept options were developed for the leisure pool and change room building located on the north end of the site. These concepts considered a phased approach to the renewal project which has subsequently been deemed undesirable due to the cost and duration of the project if phased.

#### Pros

- Limited tree removal required
- Maintains large flexible lawn area to the south
- Views into the pool area from park and Hillcrest St. to the south
- Proximity of new mechanical room to both pool tanks

#### Cons

- Turn around consideration at north end of parking lot
- Full tank replacement would virtually double the project cost.

# 5.4 Preferred Concept



## SINGLE-PHASE NORTH CONCEPT

Following further evaluation and consideration, a single-phase preferred concept was developed that locates the change room building and new leisure pool on the north side of the site. This concept has a limited impact on existing trees, maintains a significant south lawn area and meets the budgetary requirements of the project.

### Pros

- Limited tree removal required
- Maintains large flexible lawn area to the south
- Views into the pool area from park and Hillcrest St. to the south
- Proximity of new mechanical room to both pool tanks
- Opportunities for improved lap tank accessibility through renewal
- Single phase project meets budgetary target

### Features

- Generous new leisure pool
- Refurbished lap pool
- New plaza & drop off area
- Improved pedestrian connections to park and parking
- Upgraded west parking

### LEGEND

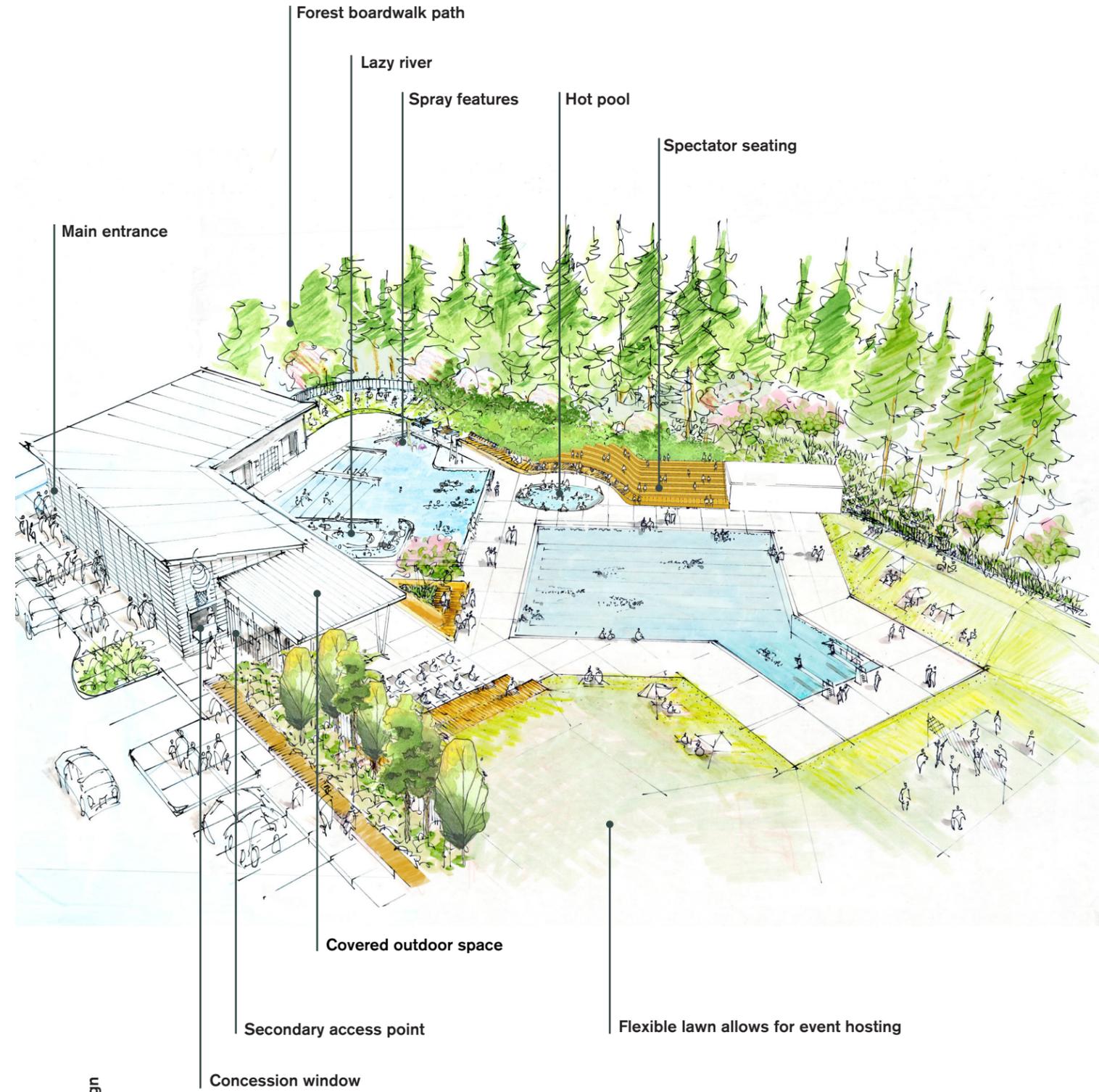
- Pools
- Plaza & Boardwalk
- Greenscaping & Lawn
- ▲ Entry
- Enclosure Fence
- Existing Buildings



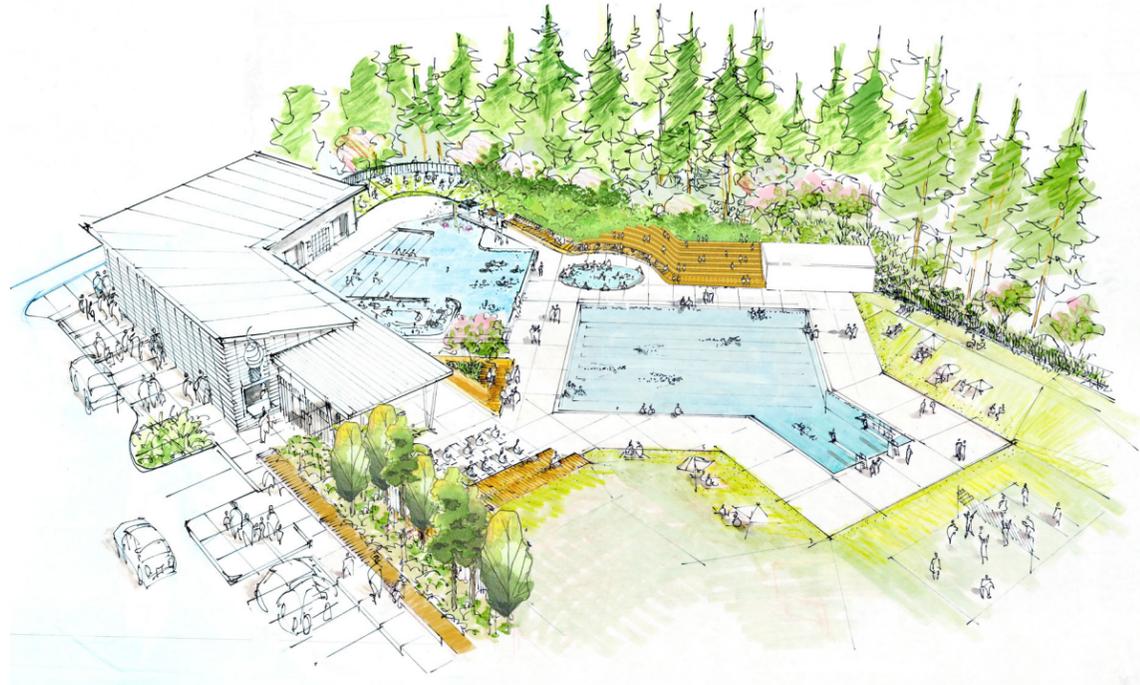
▲ Landscape Plan

# 6.0 Financial

- 6.1 Capital Costs
- 6.2 Operating Costs



## 6.1 Capital Costs



### COST SUMMARY

Element	Cost (PH1 + PH2.1)
A Land Costs	Excluded
B Construction (Net Costs Q1 2021 \$)	\$ 10,453,495
C Construction Contingencies	\$ 4,356,500
D Professional Fees (Allowances)	\$ 1,329,200
E Connection Fees & Permits (Allowances)	\$ 532,500
F Owners Management & Overhead (Allowances)	\$ 664,600
G Soft Cost Project Contingency (Owners)	\$ 126,400
H FF&E Allowance	\$ 177,200
I GST	Excluded
<b>J Total Project Cost (Excluding GST)</b>	<b>\$ 17,639,895</b>

#### NOTES:

- For additional pricing detail refer to Ross Templeton & Associates Class D Estimate dated March 3, 2021
- Pricing has been included in Q1 2021 local unit rates noting the current uncertainty and volatility of the market. Supply chain issues currently being experienced may have unknown short and long term impacts on pricing levels and anticipated projected construction escalation.
- Construction cost above allows for \$750k allowance for structural upgrade of existing lap pool tank structure, \$250k allowance for solar hot water, and \$20k for removable accessibility ramp to lap pool.

## 6.2 Operating Costs

Based on the preferred concept in the renewal study, Coquitlam staff have reviewed operational costs that would be anticipated once the renewal of Spani Outdoor Pool is complete. The addition of leisure pool, hot pool and multi-purpose room greatly expands the range of programming available at Spani Pool. It also increases the staffing required for life guarding along with additional staffing to plan and run new programming and lessons. These costs are partially offset by increased revenues attributed to the new programming. The expanded facility will also require more maintenance that is primarily attributed to additional labour and utilities costs.

Programming Costs	\$235,000
Maintenance Costs	\$100,000
Revenues	(\$60,000)
Recommended Operating Cost Adjustment	\$275,000

The City of Coquitlam has a sustainable funding strategy to ensure a consistent source of funds for long term asset replacement. Based on the value of the upgraded facility, the following contributions have been calculated to fund future component and asset replacement along with preventative maintenance based on a 50 year life span for the facility.

Building Preventative Maintenance Reserve	\$25,000
Building Component Replacement Reserve	\$215,000
Building Asset Replacement Reserve	\$360,000
Recommended Contributions to Reserves	\$600,000

## 7.0 Next Steps

## 6.0 Next Steps

The objective of the feasibility process was to produce a building program and concept options that have been guided by public input, tested by careful analysis and are programmatically, functionally and financially supportable. The information contained within this report can be used to make key decisions for the future progression of this project and should be used as the basis for the commencement of schematic design.



As part of the next stage in the process we would recommend that the findings of this report be reported back to the community for their input, as a continuation of the previous successful public engagement process. The public engagement initiated momentum for the project and this public support should be harnessed and respected through their continued involvement. Both public events and the previously identified stakeholder groups should be consulted, e.g. the Sharks Swim Club.

The following studies should also be completed prior to or simultaneously with schematic design:

- Structural analysis of the existing lap pool tank.
- Geotechnical report and surveys.
- Archaeological Overview Assessment.
- Refine the sustainability targets for the project as part of the City's wider green building objectives.



**hcma architecture + design**

[www.hcma.ca](http://www.hcma.ca)

*Vancouver*

400 - 675 West Hastings Street  
Vancouver BC V6B 1N2 Canada

604.732.6620

[vancouver@hcma.ca](mailto:vancouver@hcma.ca)

*Victoria*

Suite 300, 569 Johnson Street  
Victoria BC V8W 1M2 Canada

250.382.6650

[victoria@hcma.ca](mailto:victoria@hcma.ca)

*Edmonton*

307-10110 104 St NW  
Edmonton, T5J 1A7 Canada

780.306.4464

[edmonton@hcma.ca](mailto:edmonton@hcma.ca)